



Simpson Corridor Redevelopment Plan Update

Final Draft Review

vision

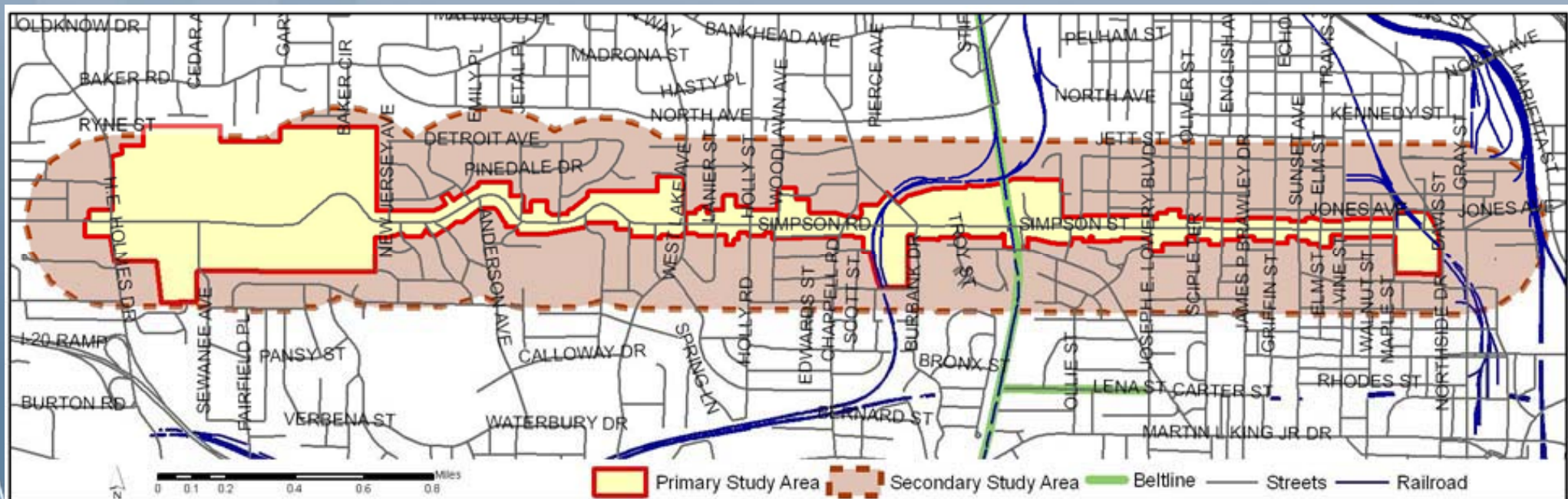
June 29, 2006

City of Atlanta, Bureau of Planning

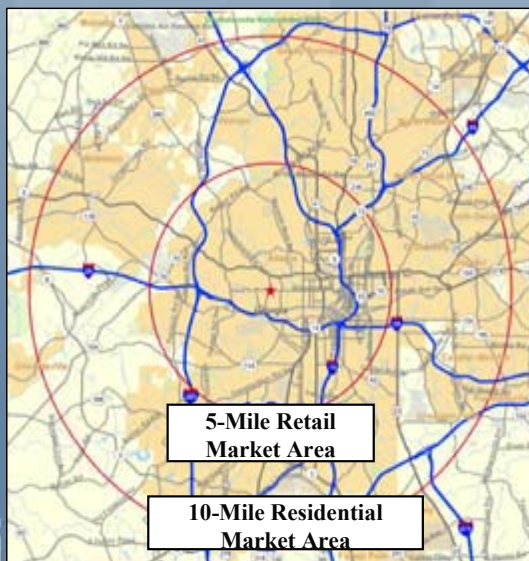


Where We Are

- Kickoff Meeting, 01/26/2006
- Workshop, 03/04/2006
- Preliminary Recommendation Presentation, 03/22/2006
- Draft Recommendations Presentation, 04/12/2006
- Draft Review Meeting, 05/30/2006
- **Final Draft Plan Presentation Meeting, 06/29/2006**



Demographics



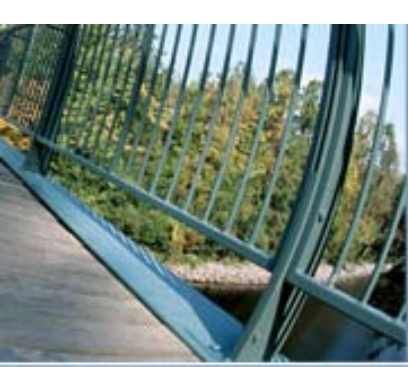
Geographic Area	1990	2006 (estimates)	% change	2011 (Forecast)	% change
Study Area					
Population	3,032	3,068	0.07%	3,171	0.68%
Households	1,216	1,153	-0.32%	1,194	0.72%
Avg. HH Size	2.42	2.55		2.55	
Corridor Neighborhood Area					
Population	66,726	72,620	0.55%	75,348	0.76%
Households	21,959	23,605	0.47%	24,892	1.10%
Avg. HH Size	2.44	2.37		2.35	

Note: 2011 projection do not account for anticipated redevelopment activity.

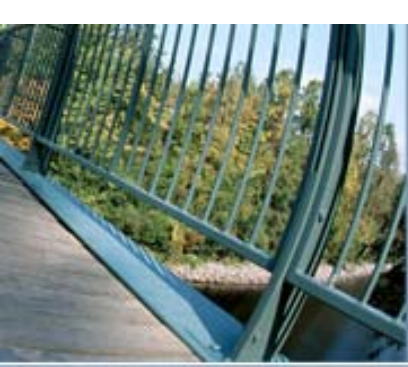
Source: ESRI BIS

- 2006 estimated median household income is \$24,312 in the study area
- Higher unemployment rate in the area -- 6.7% for Simpson and surrounding area vs. 4.6% city wide end of 2005 (Source: ADA)

Employment



- Major Employers in and surrounding the study area include Coca-Cola, Turner Entertainment, Cartoon Network, Custom Services, HJR Russell, etc.
- GWCC (1.4 M sf.) is located to the east of study area on Northside Drive.
- 206 businesses operating within the study area, most of these businesses are mom and pop type of businesses.
- Almost 9,700 people work within two miles radius from the intersection of Westlake and Simpson.



Market Capacity

- Corridor total capacity: 1,487 for sale and 3,001 for rent residential units, 264,546 sf of retail, and 60,000-80,000 sf of office/industrial space.
- New Jersey and Anderson: 100 units of residential and 30,000 sf of neighborhood retail spaces.
- Westlake: 25,000 sf of neighborhood retail, up to 10,000 sf of professional/office, 100 units of residential
- Beltline: 2,500 residential units, 100,000 square feet of retail/restaurant/entertainment, and 30,000 square feet of professional/office





Summary of Existing Condition Analysis



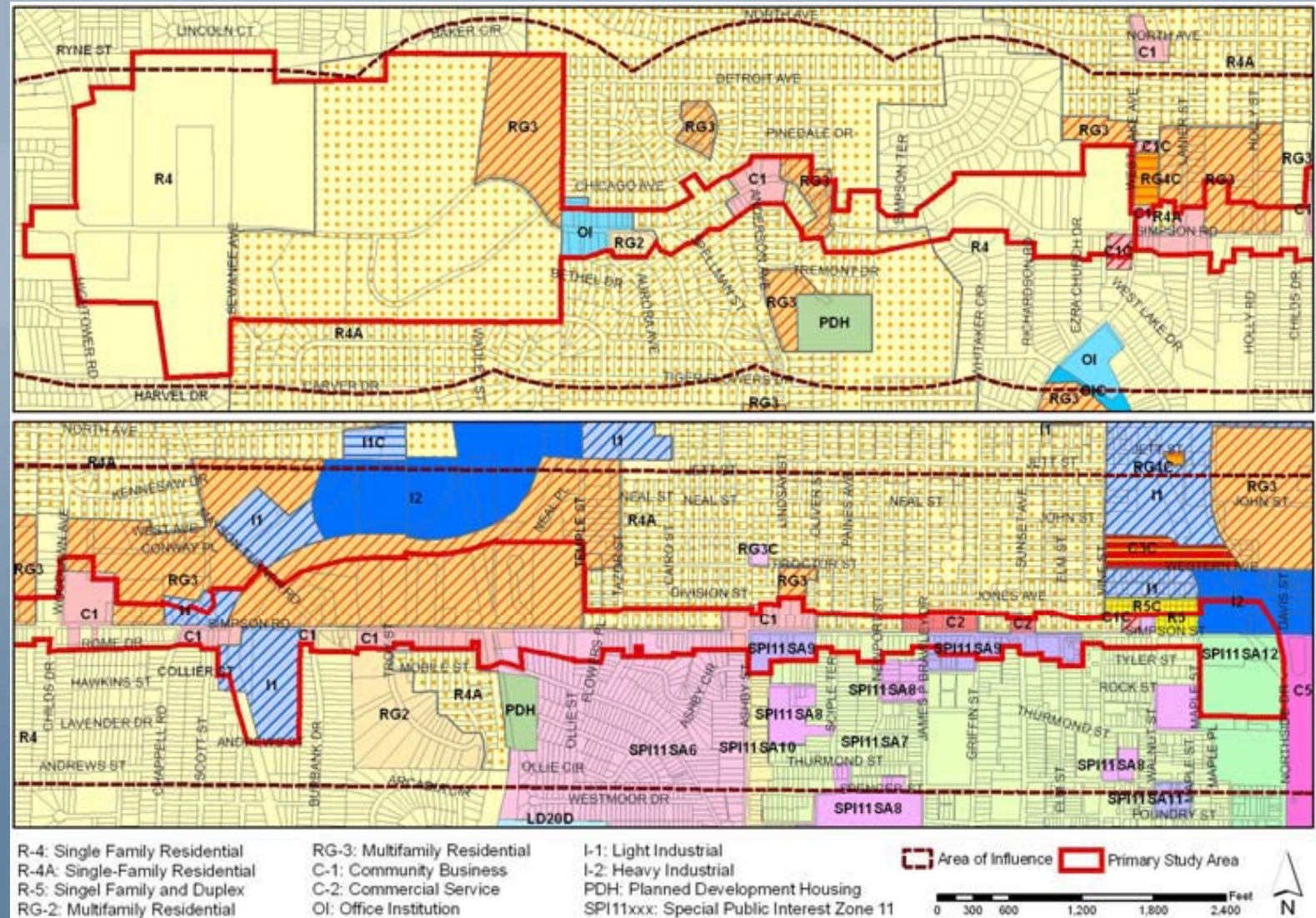
■ Land Use

- Mix of different land uses along the corridor
- Commercial/services concentrated at major intersections – New Jersey, Anderson, Westlake, Chappell, Joseph E. Lowery, Northside.
- Residential uses from single-family to multi-family
- Vacant and undeveloped land (about 11%)
- Vacant and underutilized buildings (apartments, commercial buildings)
- Lack of Green/Open Space along the corridor
- Land in public uses – schools, fire station, senior citizen center, etc.



Summary of Existing Condition Analysis

■ Zoning





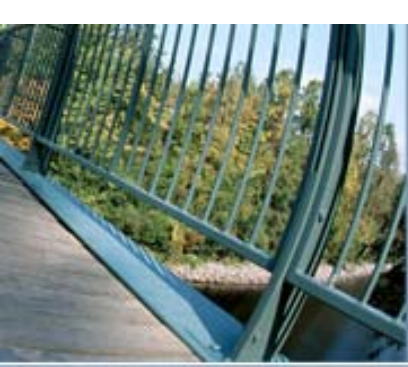
Summary of Existing Condition Analysis



■ Urban Design and Historic Resources

- Character changes from suburban to urban from West to East
- Need streetscape improvement – sidewalk, overhead utilities, bill boards, etc.
- Many buildings in deteriorated or dilapidated conditions
- Historic residential, commercial, and civic structures that can be built upon





Summary of Existing Condition Analysis

- **Transportation**
 - Well connected street network
 - Low traffic volumes in relation to roadway capacity
 - Lack of north-south connectivity in western portion of corridor
 - Lack of pedestrian amenities
 - MARTA transit services available but need improvements
 - Funded and programmed projects underway
 - Need bicycle facilities
 - Beltline transit and greenway opportunity



Summary of Existing Condition Analysis

- Housing and economic development
 - Safety issue
 - Need help on business retention and attraction
 - Need code enforcement efforts on dilapidated and deteriorated buildings
 - Need to provide a variety of housing choices including workforce housing and senior housing
 - Need help on owner-occupied housing rehabilitation and renovation





Summary of Existing Condition Analysis



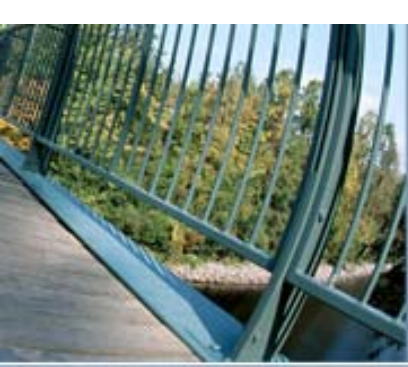
- Good accessibility to public facilities including schools, fire station, senior citizen center, nearby parks, and GWCC
- Existing floodplains affecting the corridor
- Recently finished Vine City Redevelopment Plan and ongoing English Avenue Redevelopment Plan
- Need improvements of sewer system to support revitalization





Recommendations

- Land Use
- Zoning
- Urban Design
- Transportation
- Environment
- Housing
- Economic Development



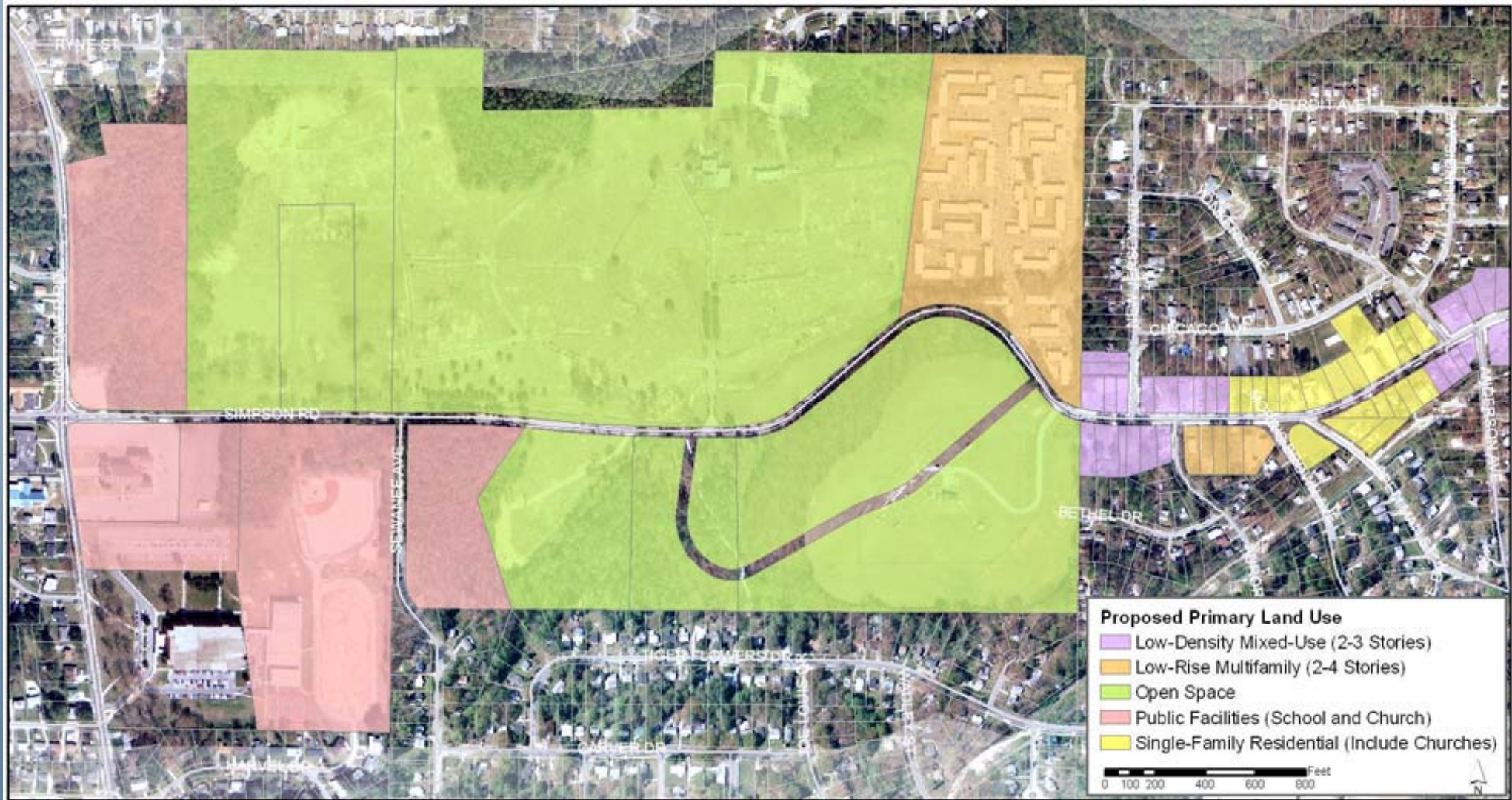
Land Use Policies

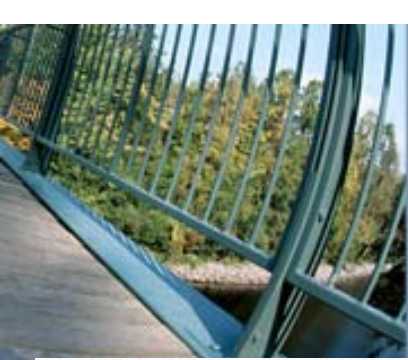
- Focus on activity nodes for mixed-use, new urbanism development
- Preserve and enhance distinct neighborhood characters
- Encourage appropriate infill development



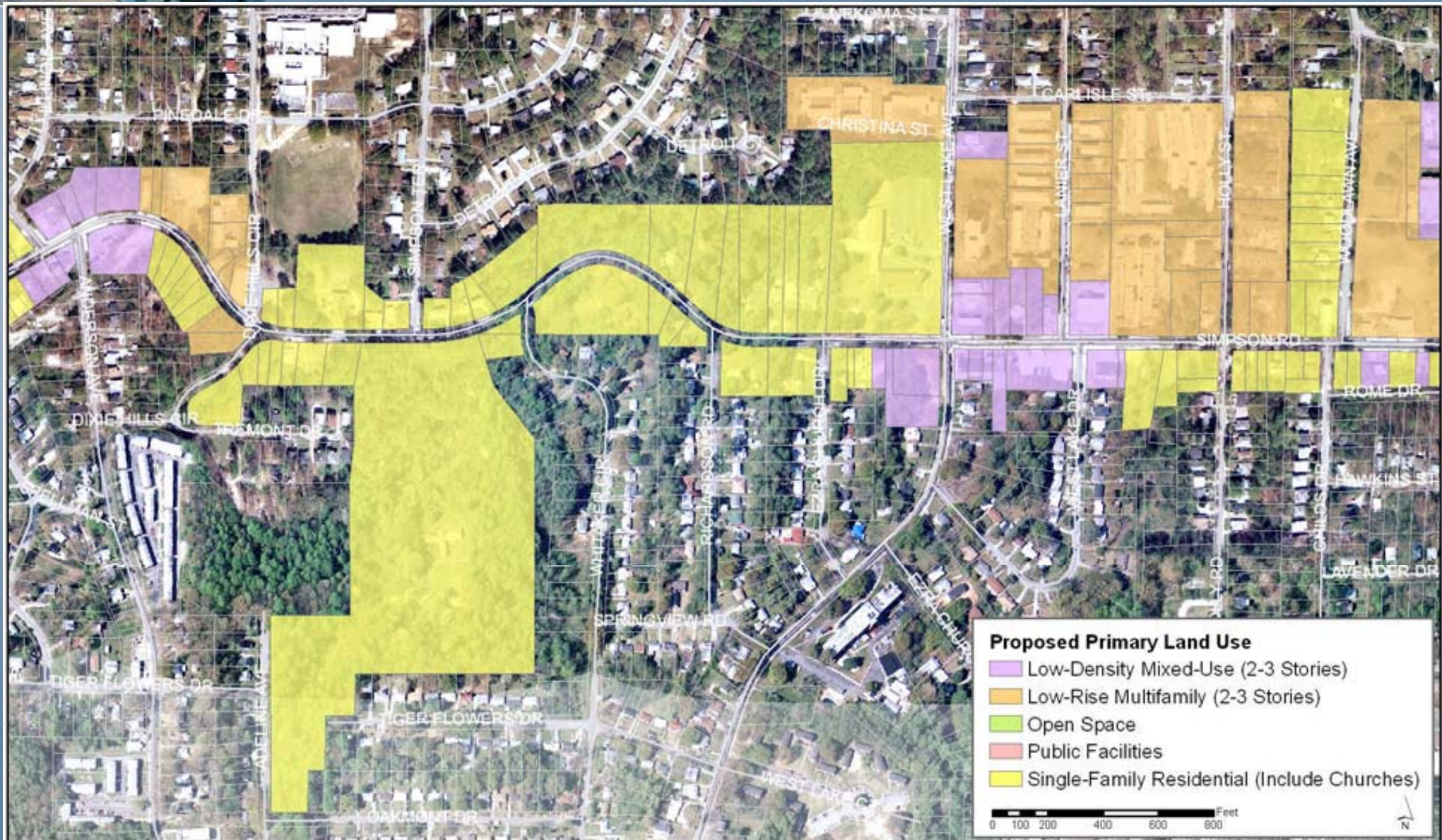


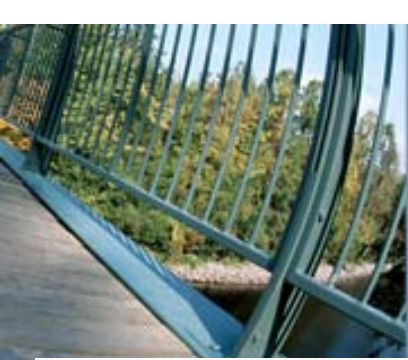
Land Use Policy-West



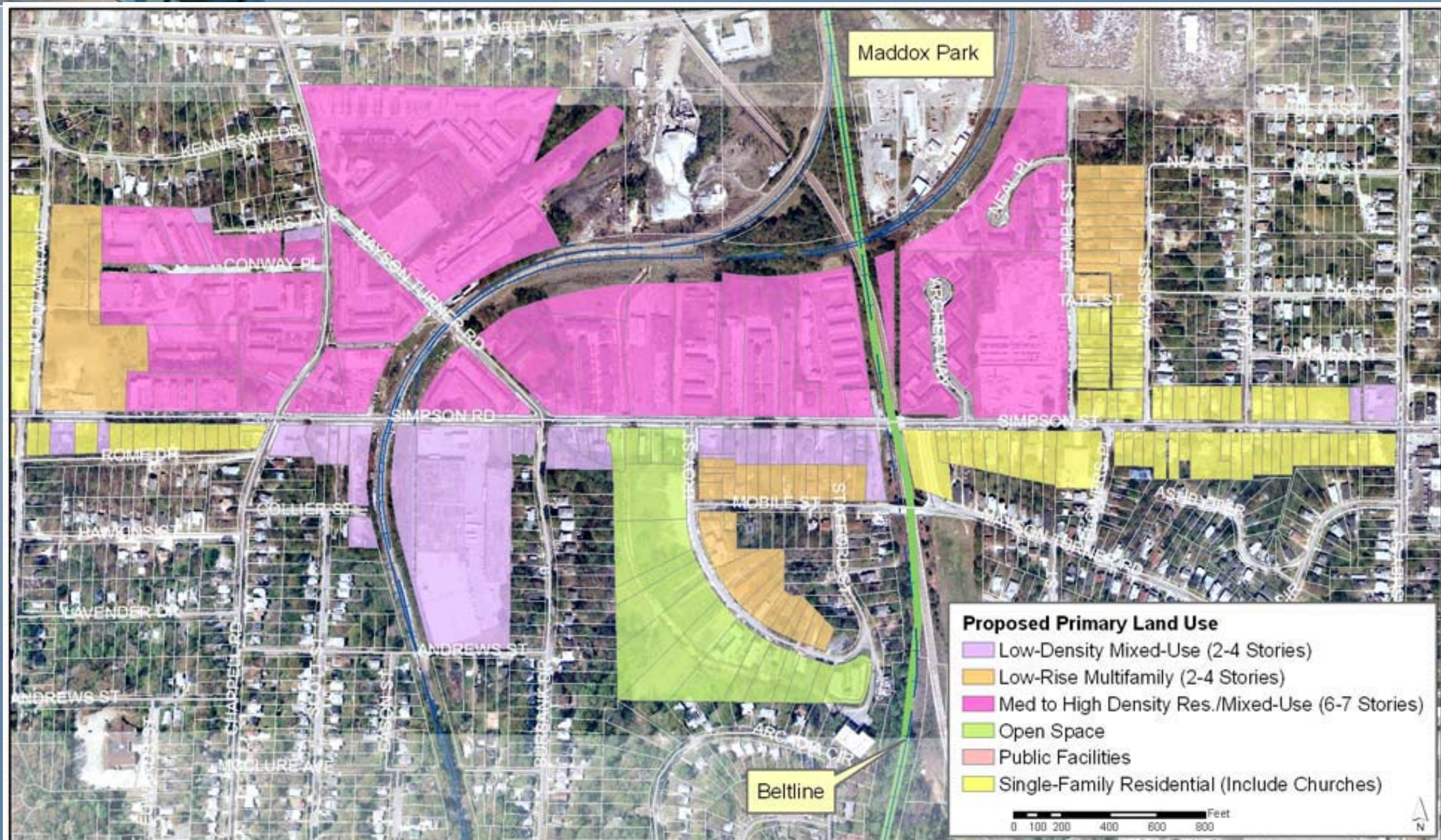


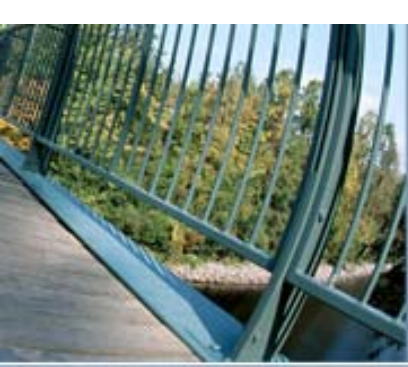
Land Use Policy-Middle



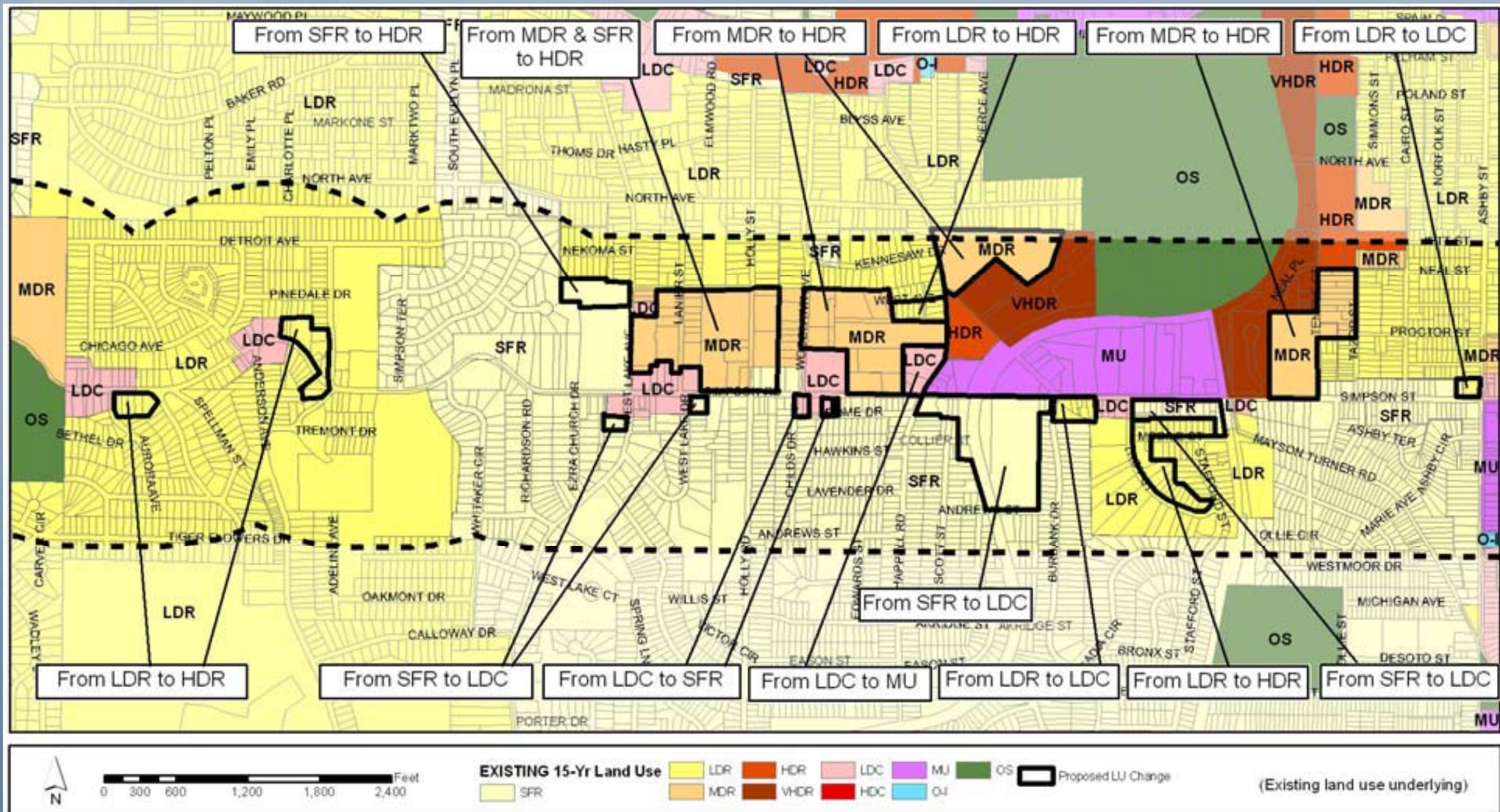


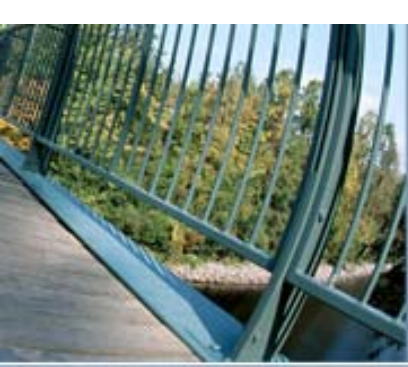
Land Use Policy - East





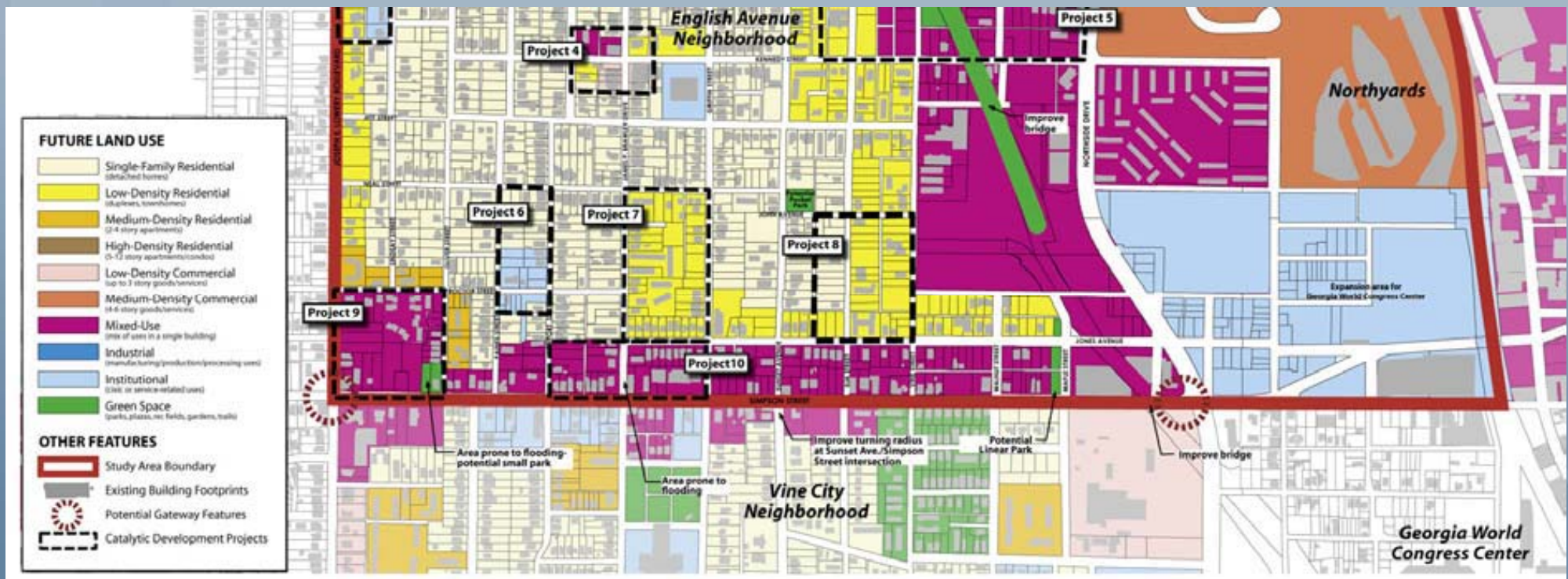
Land Use Change Recommendations





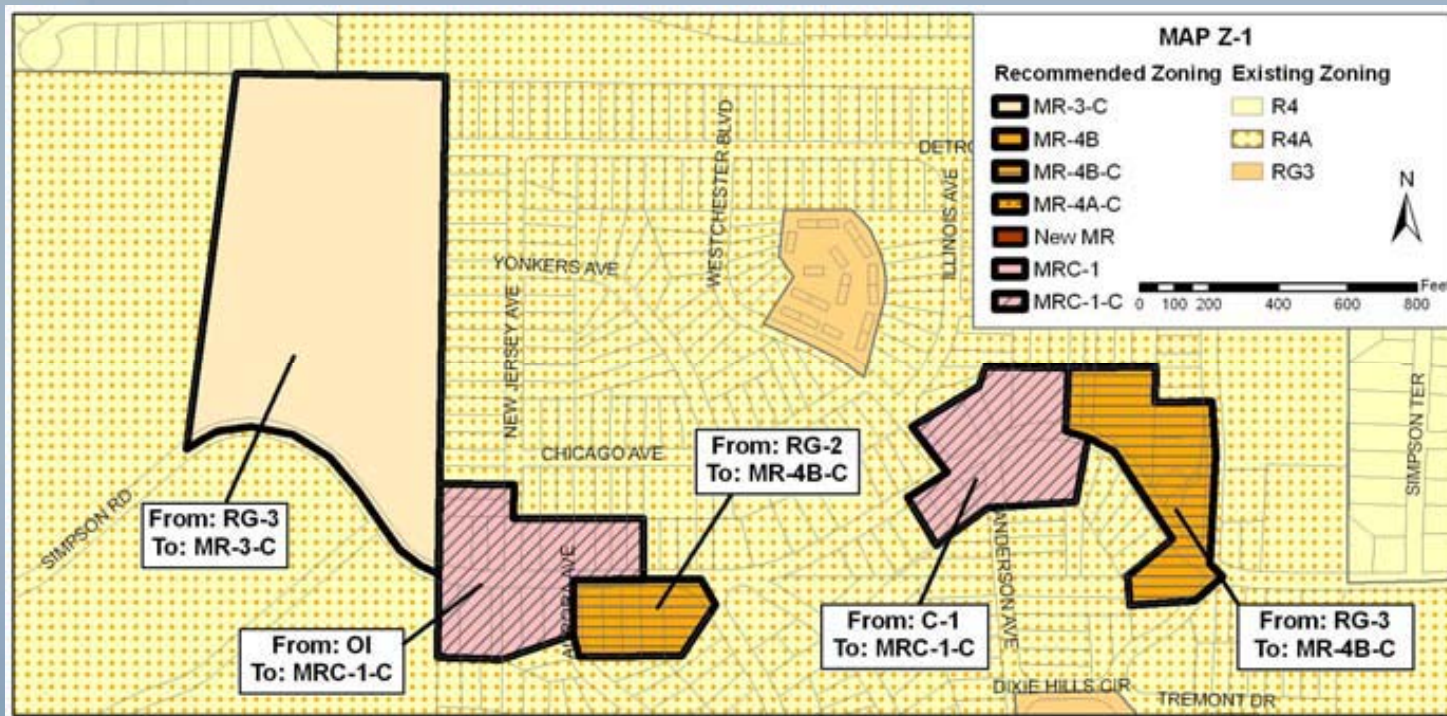
English Ave. Framework Plan

- Mixed use along Simpson Street
- Catalyst project at the corner of Simpson and Lowery: Townhomes, commercial spaces, and pocket park.



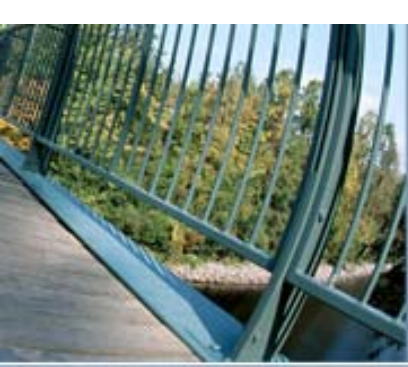


Zoning Recommendations

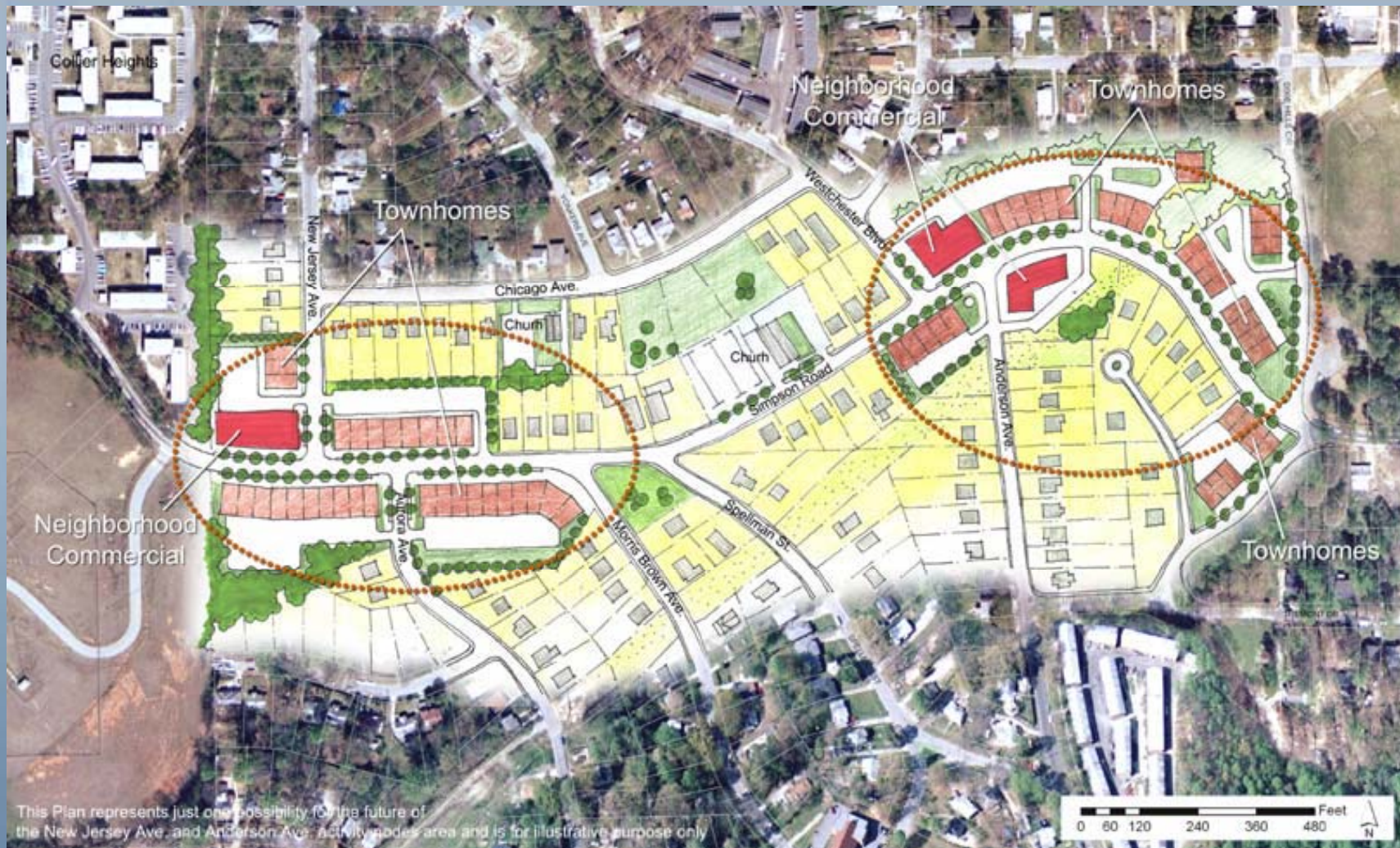


	Existing	Existing	Proposed
	C-1	OI	MRC-1-C
FAR-Total	2.696	6.2	2.7
FAR-Residential	0.696	3.2	1.7 w/bonus
FAR-Non-Residential	2	3	1
Maximum Height	Unlimited	Unlimited	40 ft
Front Setback	10 ft	50 ft	0 or 5 ft
Sidewalk Width	None	15 ft	15 ft

	Existing	Proposed	Proposed
	RG-3	MR-4B-C	MR-3-C
FAR-Total	0.696	1.49	0.696
FAR-Residential	0.696	1.49	0.696
FAR-Non-Residential	5%	5%	5%
Maximum Height	Unlimited	40 ft	52 ft
Front Setback	40 ft	5 ft	5 ft
Sidewalk Width	None	11 ft	11 ft

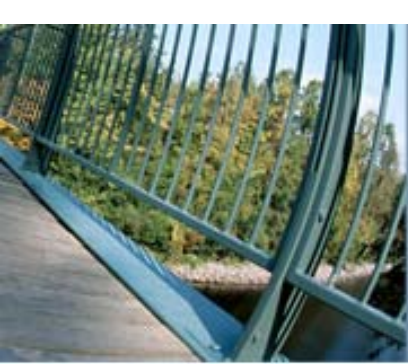


New Jersey/Anderson Concept

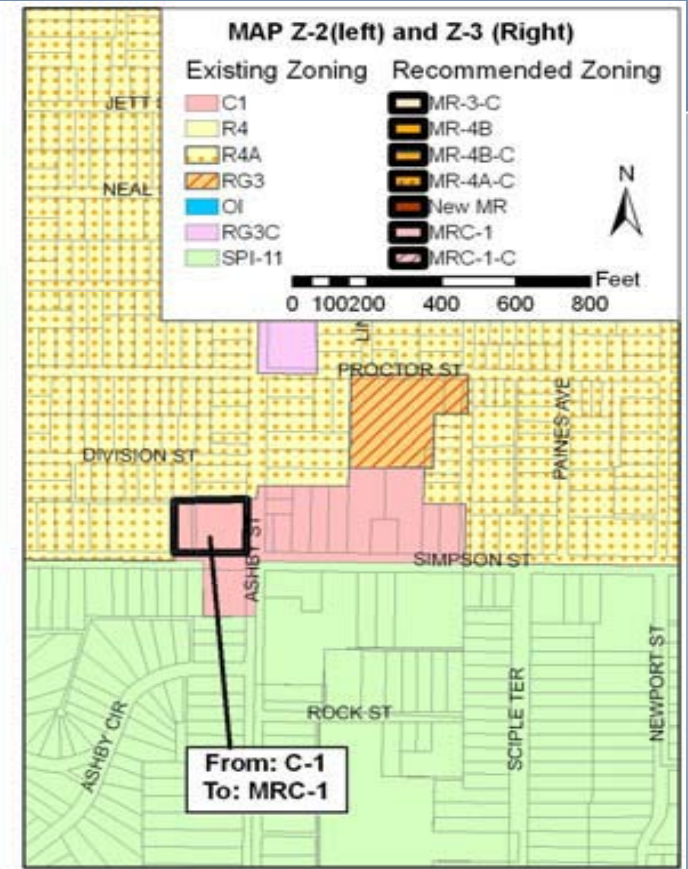
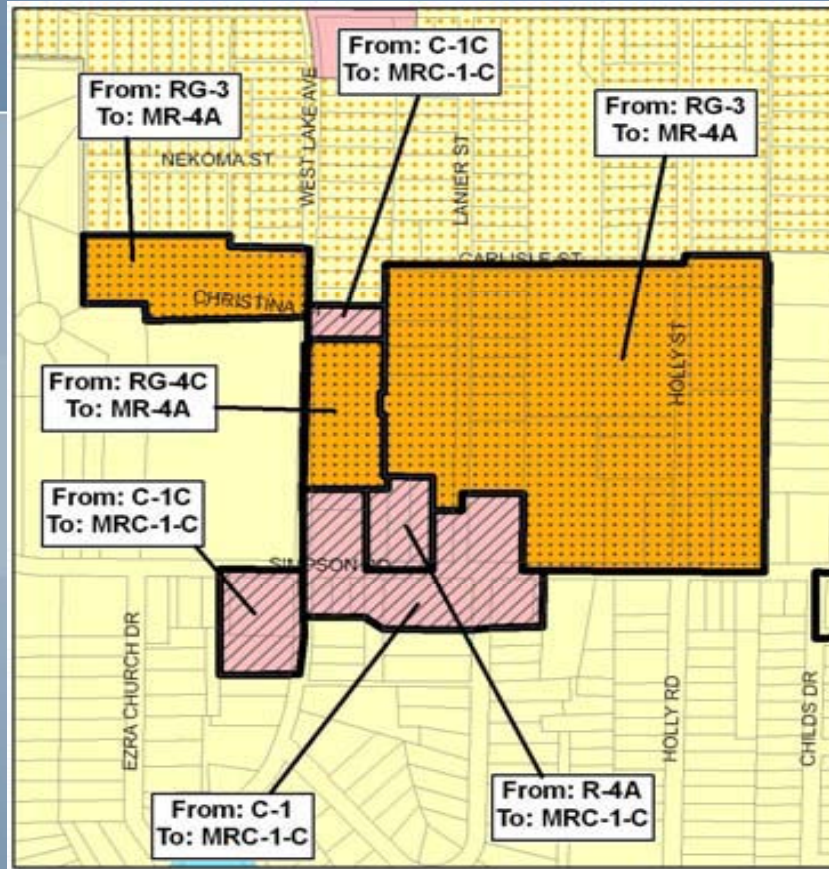


29,800 sf retail/commercial, 65 townhomes

Make sure new development is compatible with the surrounding single-family characters



Zoning Recommendations

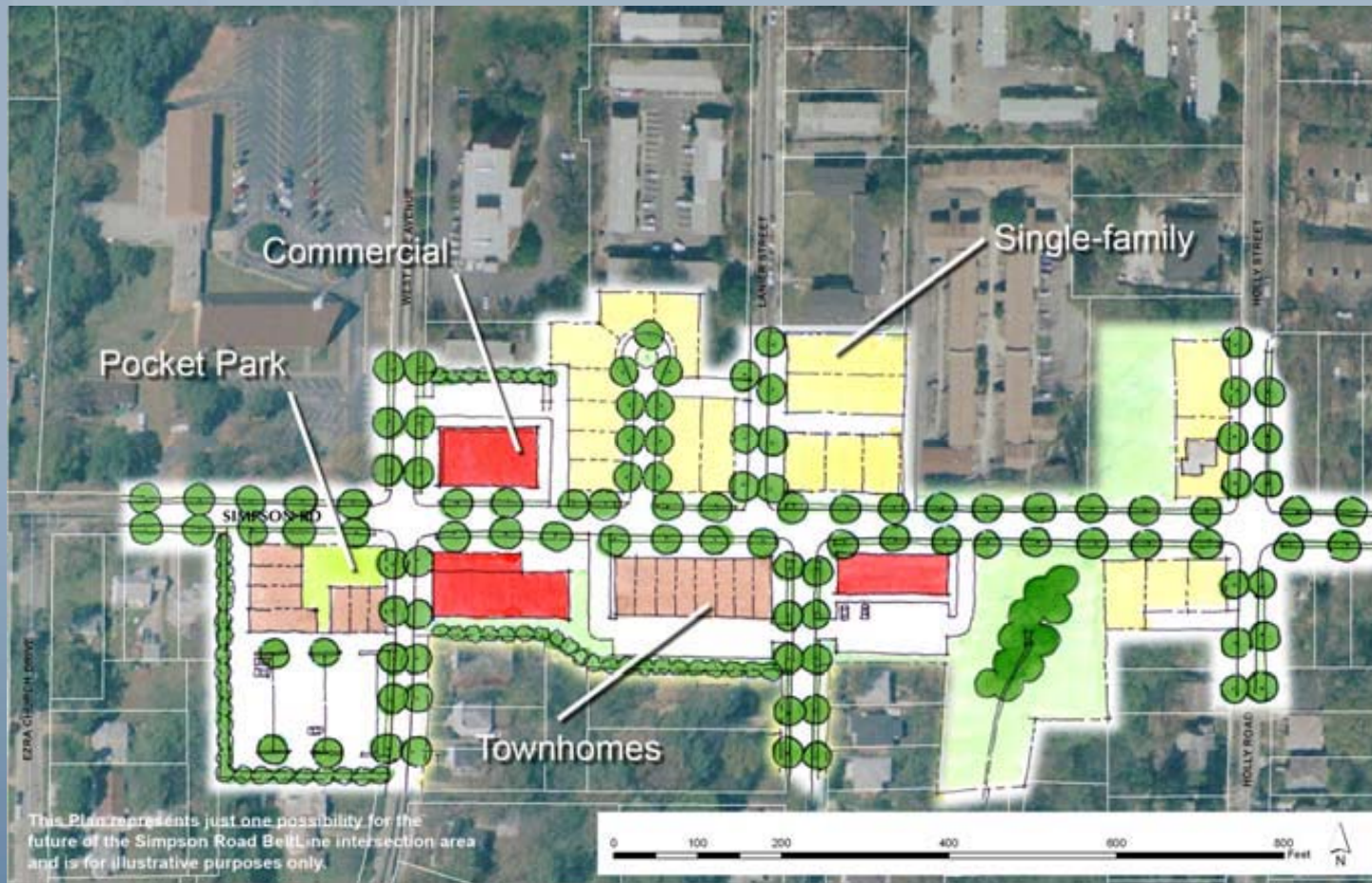


	Existing	Existing	Proposed
	C-1	MRC-1	MRC-1-C
FAR-Total	2.696	2.7	2.7
FAR-Residential	0.696	1.7 w/bonus	1.7 w/bonus
FAR-Non-Residential	2	1	1
Maximum Height	Unlimited	52ft	40 ft
Front Setback	10 ft	0 or 5 ft	0 or 5 ft
Sidewalk Width	None	15 ft	15 ft

	Existing	Proposed
	RG-3	MR-4A
FAR-Total	0.696	1.49
FAR-Residential	0.696	1.49
FAR-Non-Residential	5%	5%
Maximum Height	Unlimited	52 ft
Front Setback	40 ft	5 ft
Sidewalk Width	None	11 ft



Westlake Concept

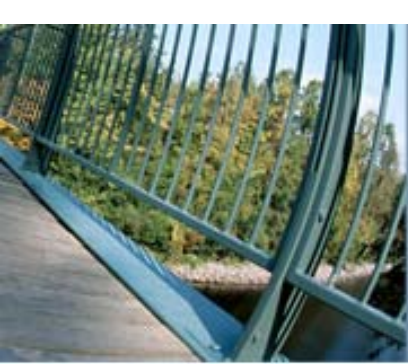


Townhomes
15 units

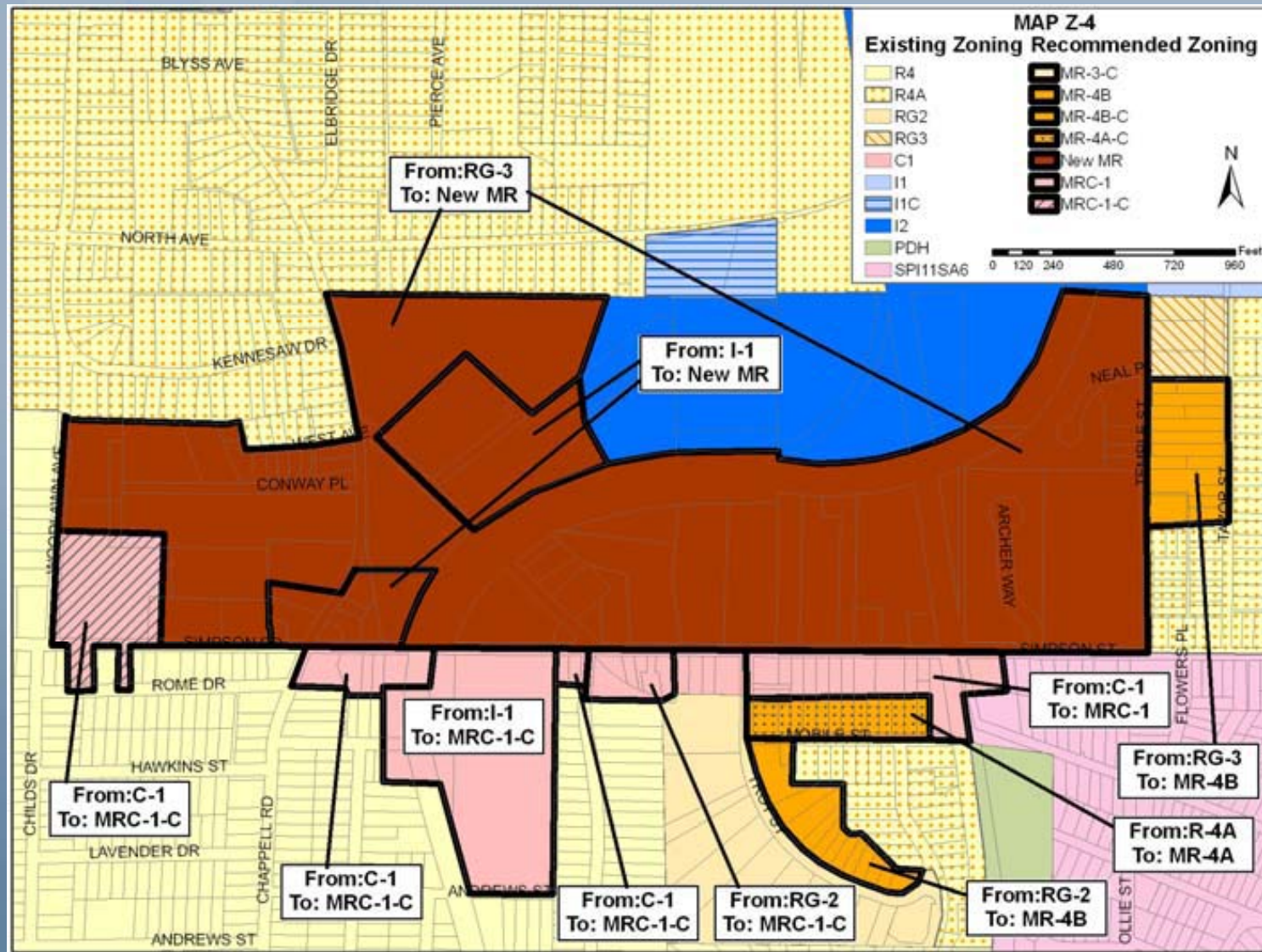
Single-family
18 units

Retail/commercial
15,000 sf

- **Single-family facing Simpson Road**
- **Pocket park on the southwestern corner of Simpson Road and Westlake Avenue**



Zoning Recommendations



	Existing
	I-1
FAR-Total	2
FAR-Residential	0
FAR-Non-Residential	2
Maximum Height	Unlimited
Front Setback	40 ft
Sidewalk Width	None

	Proposed
	New MR
FAR-Total	1.49
FAR-Residential	1.49
FAR-Non-Residential	20%
Maximum Height	88 ft
Front Setback	5 ft
Sidewalk Width	11 ft

Beltline Concept

Townhomes
124 units*

Single-Family
5 units*

Multifamily
2,210 units*

Retail
100,000 sq. ft.

***Includes 500
workforce units***

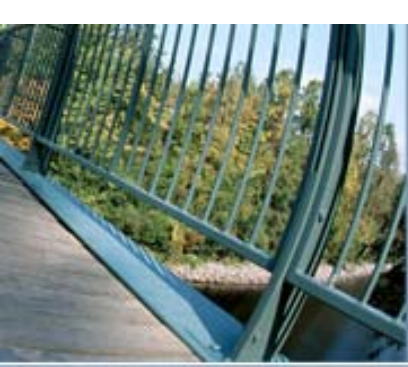


- Multifamily 6-7 stories and townhomes north of Simpson Road
- Multifamily 3-4 stories and townhomes south of Simpson Road – transition to single-family neighborhoods
- Grocery Store (35,000 square feet)



Beltline Concept





Urban Design and Historic Resources

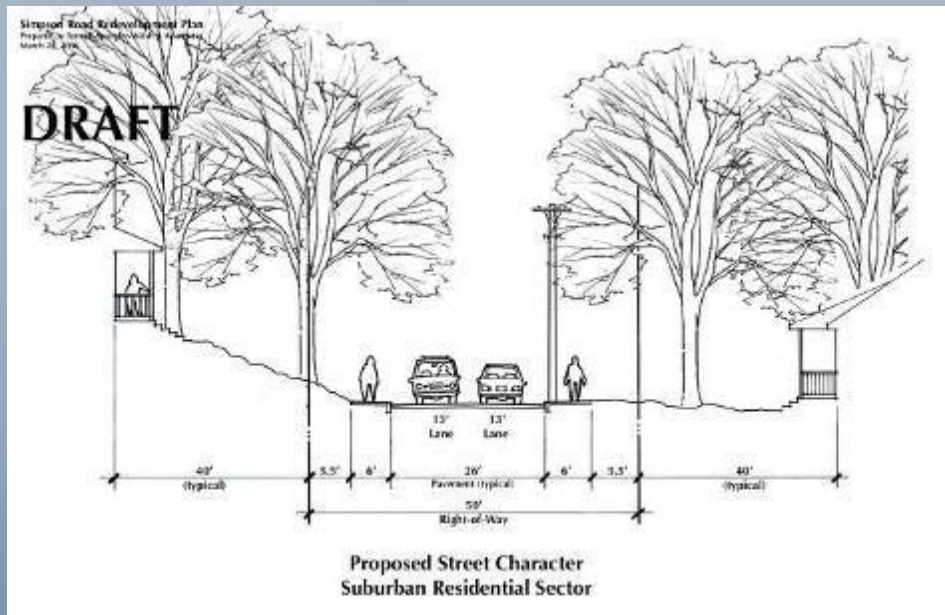
- Urban Design Projects and Policies
 - Establish a clearly defined sense-of-place for the Study Area
- Historic Resources Projects and Policies
 - Preservation and renovation of the Study Area historic resources to create the base for restoration of a walkable and safe environment
- Enhance the sense of place along Simpson Road by establishing unique character areas along it
 - From a design point of view, the diverse character of different parts of Simpson Road should be preserved and enhanced. This study proposes breaking the corridor into four different character areas.





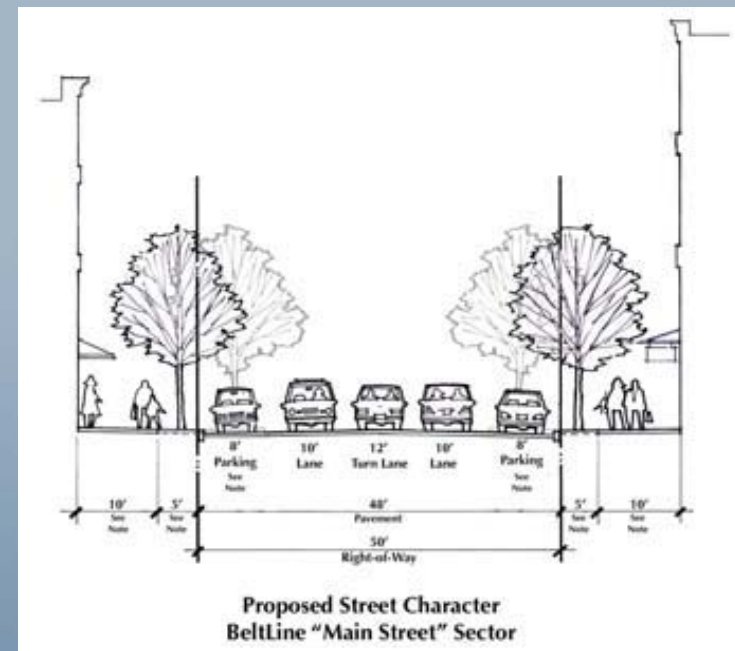
Urban Design and Historic Resources

■ Suburban Residential H. E. Holmes to Westlake



- ✓ Big setbacks
- ✓ Single-family character and scale
- ✓ Big street trees

■ Main Street Westlake to Temple

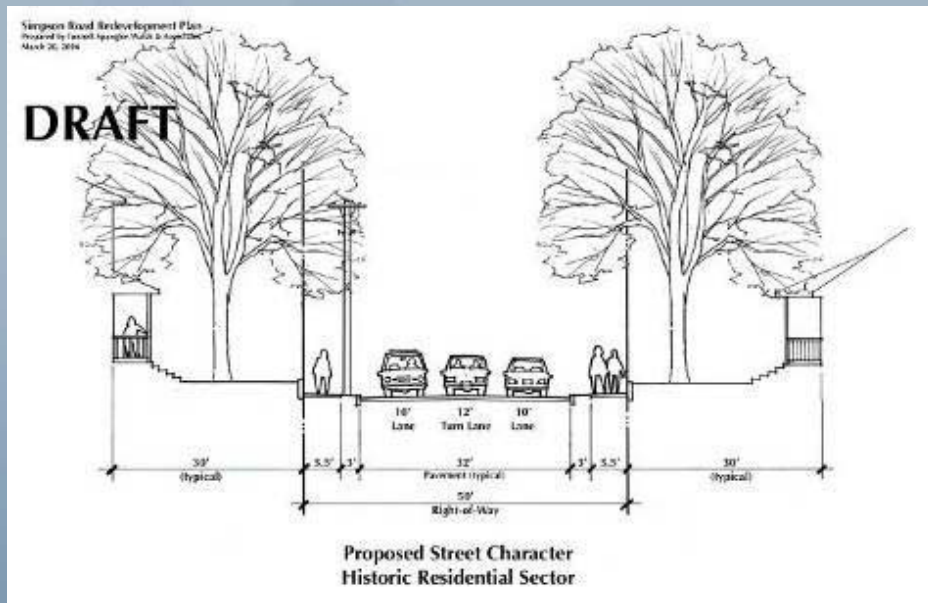


- ✓ Small setbacks, Mixed-use
- ✓ Wide sidewalks with development
- ✓ Future on-street parking
- ✓ Future "bulbouts" by parking
- ✓ Max. 3 floors at Westlake, 4 – 7 floors at BeltLine



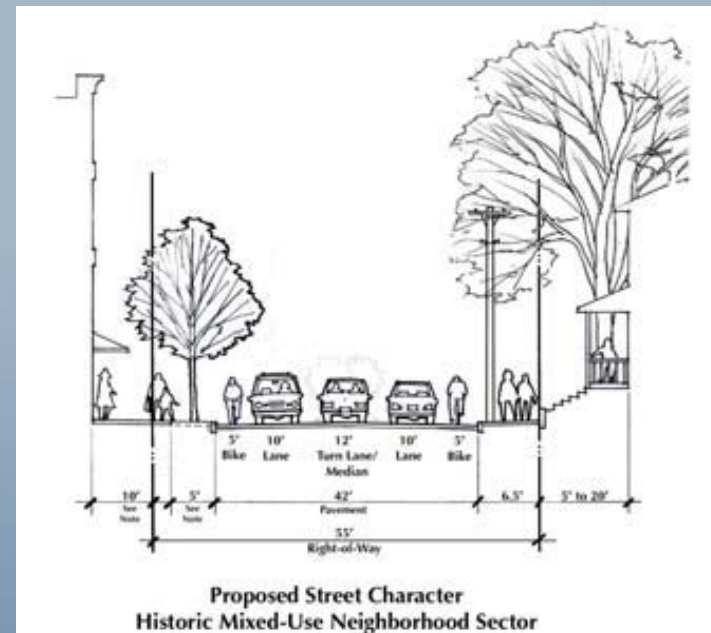
Urban Design and Historic Resources

■ Historic Residential Temple to Lowery



- ✓ Big setbacks
- ✓ Preserved homes
- ✓ Existing sidewalks
- ✓ Single-family scale
- ✓ 2 lanes with bike lanes except at the Lowery intersection

■ Historic Mixed-Use Lowery to Northside



- ✓ Small setbacks
- ✓ Mixed-use
- ✓ Wide sidewalks with development
- ✓ Heights as recommended by English Ave and Vine City Studies
- ✓ Bike lanes on both sides of street



Urban Design and Historic Resources

- Apply Quality of Life Zoning design requirements to all development/redevelopment projects.
- Encourage area residents to participate in citywide efforts to establish standards for neighborhood infill development.
- Employ Crime Prevention Through Environmental Design (CPTED) principles to reduce opportunities for crime:
 - *Limit dead end streets and pedestrian ways*
 - *Orient buildings towards the street*
 - *Provide access control to individual buildings without creating "gated communities"*
 - *Ensure proper maintenance of buildings and landscaping*



Urban Design and Historic Resources



- Provide buildings heights that do not overwhelm the street or adjacent neighborhoods
- Ensure that new buildings respect the pedestrian and sense of place
 - *Require buildings to define the public street*
 - *Ensure that balconies, porches, etc. provide articulation but not destroy the delineation of the street*
 - *Prohibit parking and blank walls adjacent to the street*



Urban Design and Historic Resources

- In all commercial or mixed-use areas:
 - *Provide roofs that appear horizontal from the street.*
 - *Encourage continuous sidewalk-fronting storefronts.*
 - *Prohibit clapboard, vinyl or hardiplank siding facing the street.*

*Horizontal
Roof*

*Rear
Parking*

*Brick with
Storefronts*

*Continuous
Buildings*

- Ensure that new development are coordinated to form a single “place,” rather than a collection of isolated developments.





Urban Design and Historic Resources

- Provide pocket parks and plazas at key locations:
 - *Southwest corner of West Lake Avenue – pocket park (0.25 acre)*
 - *BeltLine transit station – plaza (0.25 acre)*
 - *Realignment of Chappell and Mayson Turner Roads*
 - *As recommended by English Avenue and Vine City plans*



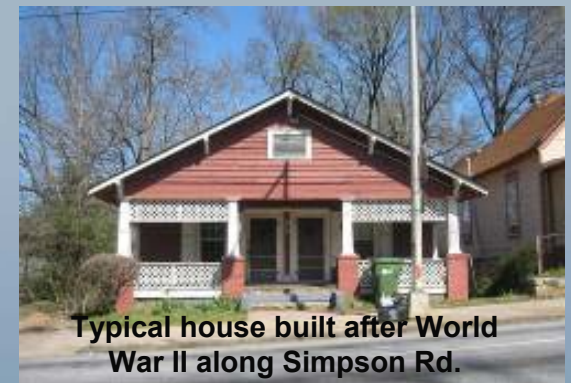


Urban Design and Historic Resources

- Encourage the retention and re-use of Historic structures like:
 - *Churches*
 - *Brick commercial buildings*
 - *Historic neighborhoods*
- Utilize historic architectural styles and materials in new development



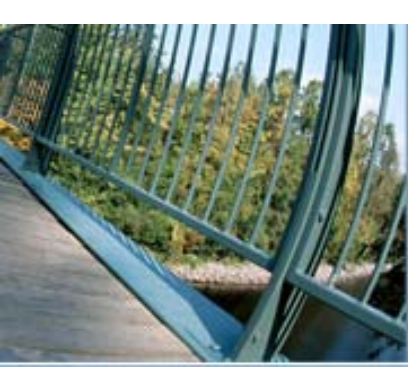
Simpson Street Church of Christ



Typical house built after World War II along Simpson Rd.



Historic brick building



Urban Design and Historic Resources

- Target Simpson Road for Owner Occupied Rehabilitation Program as a means of preserving historic homes
 - *For homeowners*
 - *For "Substandard" and "Deteriorated" structures*
 - *For major code violations (HVAC, plumbing, electric, structure)*
- Encourage owners of historic income producing properties (businesses and apartments) to use existing historic preservation incentives
 - *Property Tax Abatement (may not be used in TAD area)*
 - *State Income Tax Credit*
 - *Federal Rehabilitation tax Credit*

**Before and after photos
from Edonton, SC**

*Courtesy Preservation North
Carolina*





Urban Design and Historic Resources



- Implement a historic marker Program for Simpson Road
- Perform a historic building inventory of the Dixie Hills neighborhood to gauge its potential future designation as a local historic district



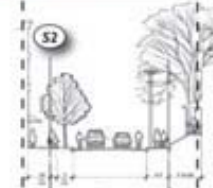


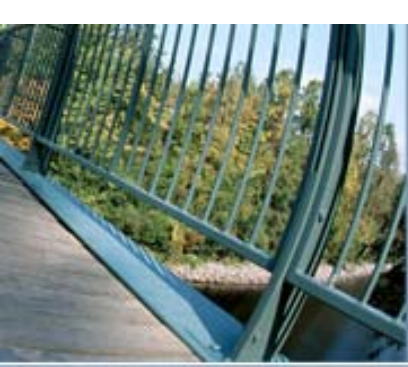
Transportation Improvements

- Ongoing Simpson Streetscape Project totaling \$1.9M
- Recommended transportation improvements totaling about \$22M



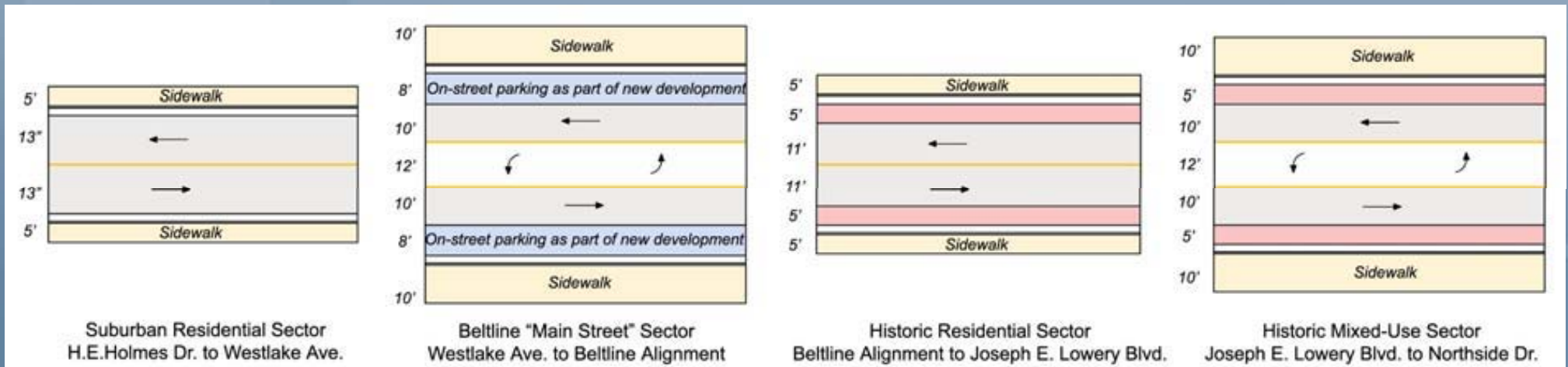
Recommended Typical Road Profiles

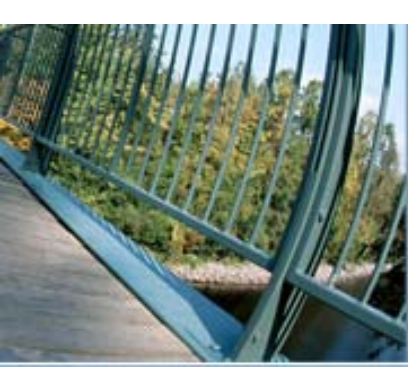




Transportation Recommendations

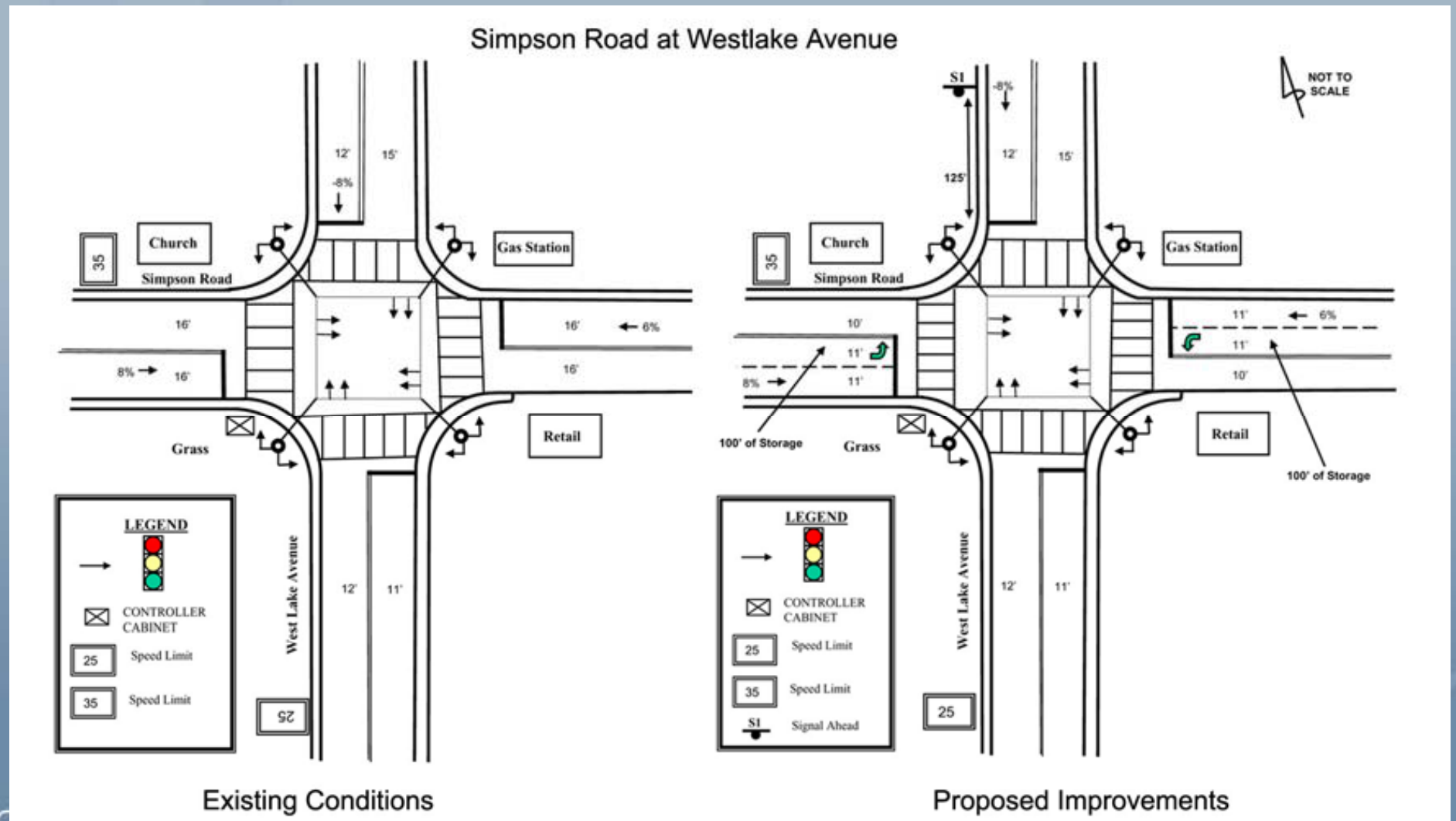
■ Roadway Operation

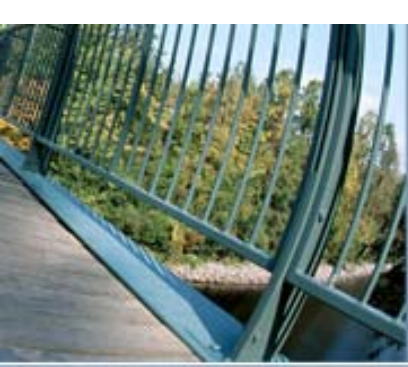




Transportation Recommendations

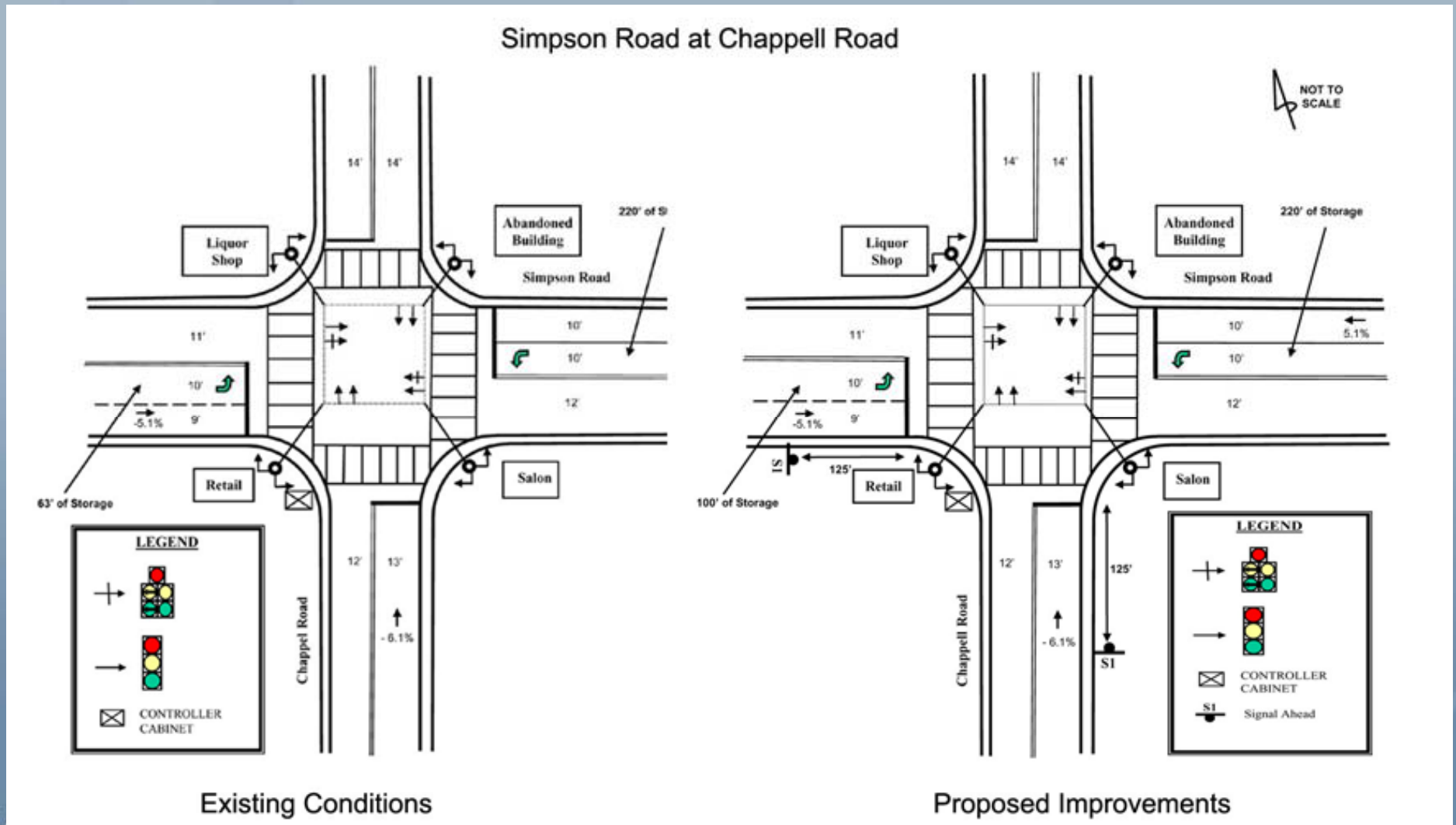
■ Intersection Improvements

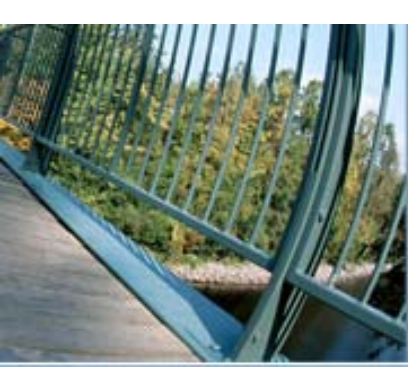




Transportation Recommendations

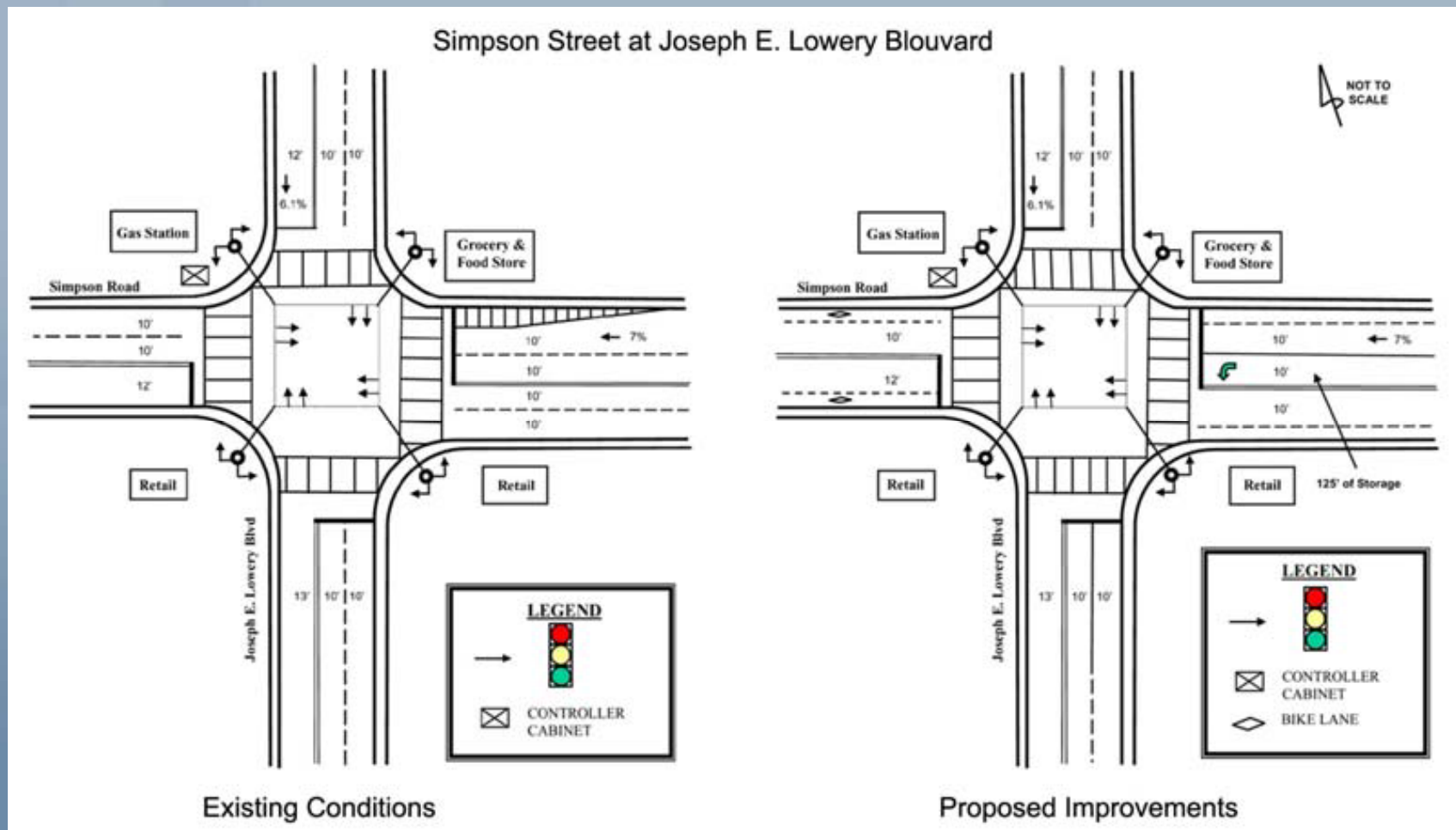
■ Intersection Improvements





Transportation Recommendations

■ Intersection Improvements





Transportation Recommendations

■ Pedestrian Improvement

- New sidewalks on both sides from H. E. Holmes to New Jersey
- New sidewalk on south side of Simpson from New Jersey to Westlake
- Review and improve traffic controls, signage and striping corridor-wide
- Upgrade sidewalks near MARTA bus stops more than 200' from a signalized intersection



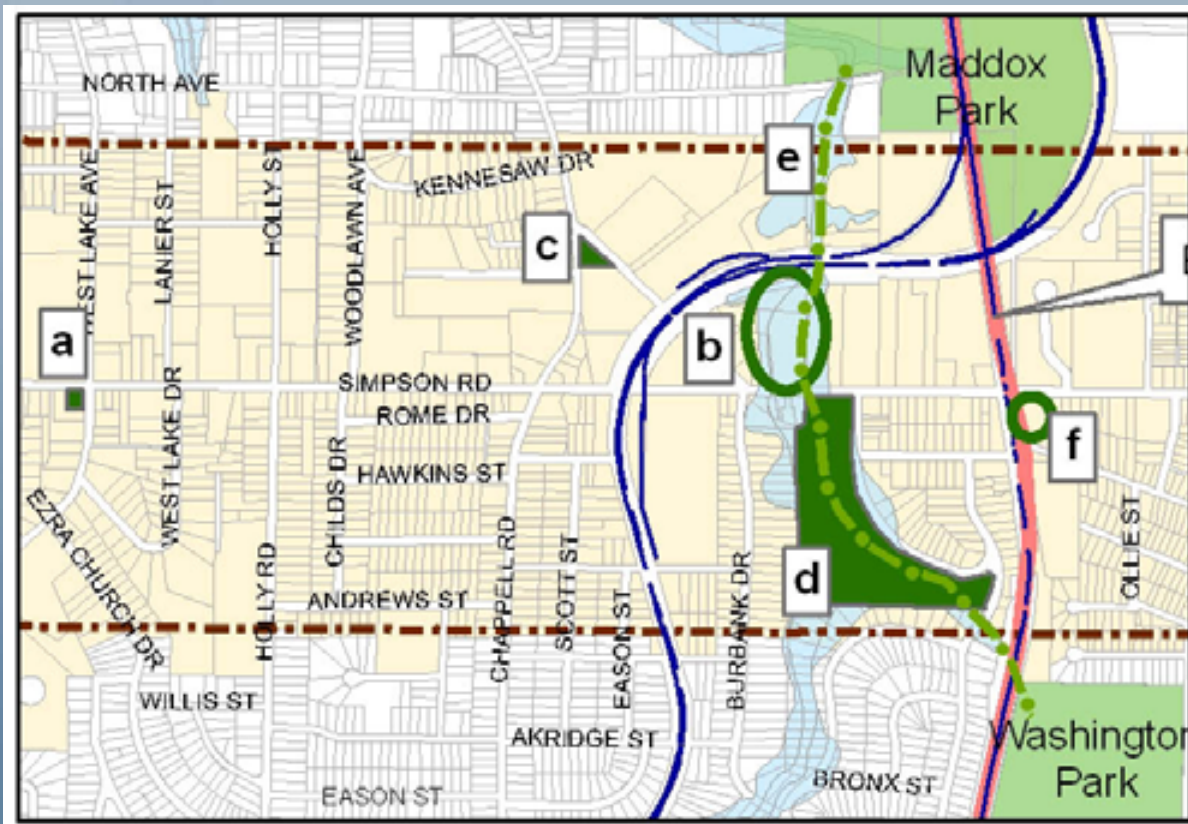
Transportation Recommendations

- Transit Improvements
 - Corridor-wide amenities – bus shelters, seating, lighting, and trash receptacles
 - Bus route alterations to connect the entire corridor and Downtown
- New Street Connection
 - White elementary school – Detroit to North Avenue
 - New connections in Beltline area – Troy Street, North Avenue, Temple Street, and Jett Street



Environmental Recommendations

- Discourage development in floodplain areas
- Create parks and trails



- a. Pocket park at Westlake
- b. Potential open space at Proctor Creek floodplain area with redevelopment
- c. Mason Turner pocket park
- d. Green space acquisition at Proctor Creek Floodplain area south of Simpson
- e. Trails connect to Maddox Park and Washington Park
- f. Beltline Transit Plaza



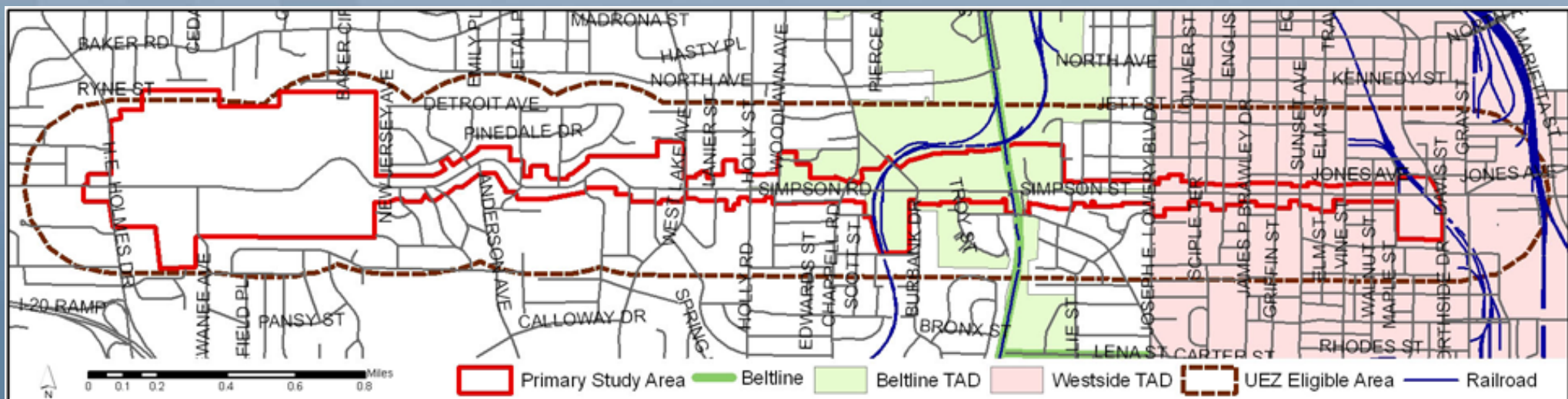
Housing Recommendations

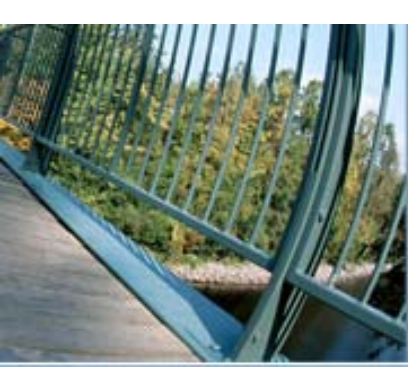
- Strive for 20% of the development units as workforce housing through TAD and UEZ program
- Update city zoning code for inclusionary zoning
- Encourage development of senior housing
- Encourage local churches to participate in building senior housing/facilities.
- Encourage rehabilitation and renovation by making Bureau of Housing programs available for study area residents and potential investors
 - Owner-occupied rehabilitation program
 - Multi-family housing program



Economic Development

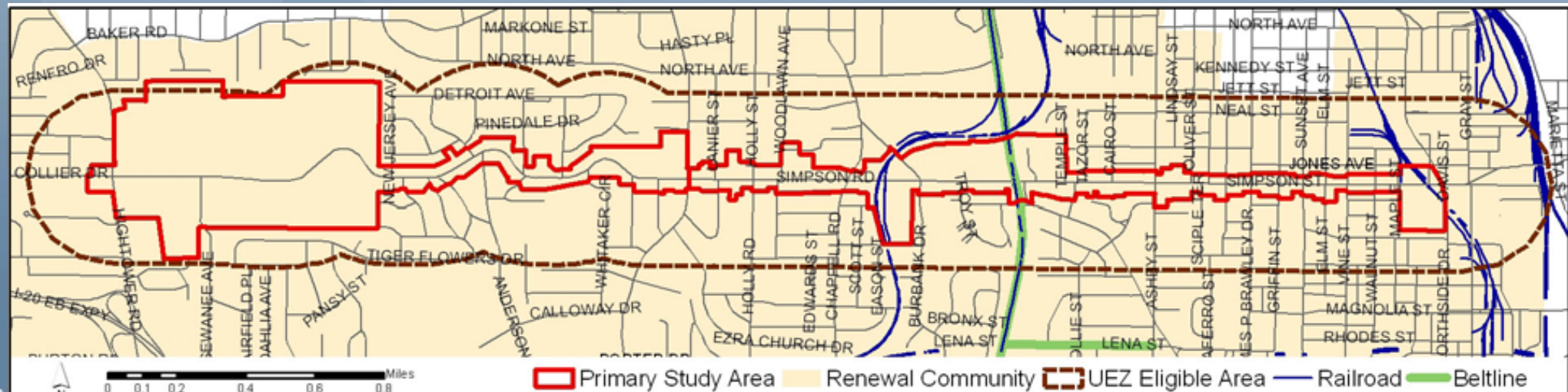
- Utilizing Existing Financing Tools
 - Westside TAD
 - Beltline TAD
 - Small Business Loans provided by ADA
 - New Market Tax Credits





Economic Development

- Utilize the Urban Enterprise Zones program for residential, commercial, and mixed-use development
- Apply the Atlanta Renewal Communities program in the study area:
 - Wage credit
 - Environmental cleanup cost deduction
 - Commercial revitalization deduction
 - Capital Gains exclusion





Economic Development

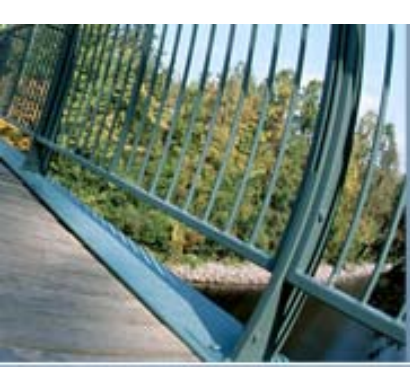
- Work with AWDA to provide jobs
- Apply Crime and Grime Initiative to improve social environment
- Provide consulting and technical assistance for businesses
- Target on business retention and attraction



2030 Projection

- The built out of this plan in the next 25 years will increase population, employment, and housing in the study area:

	2006	2011	2016	2021	2026	2031	2006-2031 Change
Population	3,068	4,046	5,676	7,306	8,275	9,588	6,520
Single Family	1,097	1,106	1,120	1,134	1,134	1,155	58
Townhomes	91	163	283	403	475	571	480
Multifamily	1,880	2,777	4,273	5,768	6,666	7,862	5,983
Employment	1,442	1,544	1,713	1,882	1,984	2,119	677



- Comments and Questions?
- Do you support this plan?
- Next steps
 - NPU visits to present the plan in July and August
 - CDP Public Hearing in September for plan adoption